

APPLICATION FOR REZONING

Name and Address of Applicant:
Tomasa Sanchez
174 Brisco Street
Madison MS. 39110

APPLICATION DATE	Present Zoning of Property	Legal Description of Property:	TAX PARCEL NUMBER	FLOOD ZONE	MAP/PLAT OF PROPERTY
Jan 24 th 2024	R-1	See (Exhibit A)	081E-16-001/03.01	X	See (Exhibit B)

Other Comments: As per Article VIII Section 806 of the Madison County Zoning Ordinance.

Comments

Respectfully Submitted

Tomasa Sanchez



Petition submitted to Madison County Planning and Development Commission on _____

Recommendation of Madison County Planning and Development Commission on Petition _____

Public Hearing date as established by the Madison County Board of Supervisors _____

Final disposition of Petition _____

Rezoning from R-1 to C-1A Commercial

Rezoning Proposal: Transforming Land Spaces situated in section 16th., township 8 north range 1 east, Madison County for Medical clinic or Business offices (law firms, Insurance, real estate, etc.).

Introduction: The Dental Clinic, Animal Clinic and Daycare facility around this area have shown a big impact and benefit to this area. Our community is evolving, and with it, the needs of its residents are changing. As we look to the future, it's crucial to adapt our infrastructure to meet these evolving needs. One such opportunity lies in the transformation of one of the existing daycare facility buildings into a comprehensive wellness healthcare clinic or Business offices. This proposal outlines the reasons and benefits of this rezoning endeavor.

Rationale: Rezoning this property situated in section 16th., township 8 north range 1 east, Madison County from R-1 to C-1A Commercial, will allow the conversion of the one of the daycare buildings into a healthcare or business offices facility, this will align with the evolving demographics and our community needs. With an increasing population, there is a pressing need for accessible comprehensive healthcare services or Business offices (law firms, Insurance, real estate, etc.). By repurposing the building into a commercial space, we can address this demand while revitalizing the property to better serve the community.

Benefits:

Improved Access to Healthcare or other business (law firms, Insurance, real estate, etc.): Converting the building into a healthcare clinic or business would provide convenient access to a wide range of healthcare and other services for residents in the surrounding area. This would be particularly beneficial for elderly individuals and families with young children who previously utilized the daycare services.

Diverse Healthcare or business offerings: this property could house various healthcare practitioners, realtors, lawyers, insurance providers and other services under one roof this integrated approach ensures comprehensive services offer.

Job Creation and Economic Growth: The establishment of a healthcare or business facility would create employment opportunities for healthcare professionals, administrative staff, realtors, lawyers, insurance providers and support personnel.

Property Value Enhancement: Repurposing the building into a healthcare or business facility has the potential to enhance property values in the surrounding area. The presence of reputable establishments can attract investment and development, contributing to the overall improvement of the neighborhood.

Educational Opportunities: College students could benefit from practical experience and exposure to healthcare operations, law firms, Insurance, real estate business by participating in student's intern opportunities. This hands-on experience could complement their education and prepare them for their future career as professionals.

Conclusion: In conclusion, the rezoning of this property from R-1 to C-1A Commercial represents a proactive step towards meeting the evolving needs of our community. This transformation not only benefits residents by enhancing access to quality healthcare and other services but also presents opportunities for economic growth, job creation, and educational advancement. By embracing this vision, we can create a healthier and more vibrant community for generations to come.

Sincerely

Tomasa Sanchez

The Kids World Center

**APPLICATION FOR CERTIFICATE OF APPROPRIATENESS/
CERTIFICATE OF APPROPRIATENESS:
MANNSDALE-LIVINGSTON HERITAGE PRESERVATION (MLHP) DISTRICT**

APPLICANT NAME: Tomaso Sanchez
APPLICANT ADDRESS: 470 Mannsdale Road
APPLICANT TELEPHONE NUMBER: 601-421-5391
DATE SUBMITTED TO ZONING ADMINISTRATOR: 1-24-2024

LOCATION OF PROPERTY FOR WHICH CERTIFICATE OF APPROPRIATENESS IS REQUESTED: (PLEASE ATTACH MAP INDICATING BOUNDARIES OF PROPERTY INVOLVED AND/OR A LEGAL DESCRIPTION).

470 Mannsdale Road

PLEASE SPECIFY PROPOSED USE OR USES OF THE SUBJECT PROPERTY FOR WHICH CERTIFICATE OF APPROPRIATENESS IS REQUESTED: (IF MORE THAN ONE USE, INDICATE ON THE REQUIRED SITE PLAN THE LOCATION OF ALL THE PROPOSED USES).

Rezoning R-1 to C-1A

CHECK LIST ALL OF THE FOLLOWING THAT APPLY:

Uses Allowed Only As Special Exceptions:

- Public/ quasi-public facility or utility: Specify: _____
- Commercial uses (See Zoning Ordinance for uses allowed as special exceptions) Please describe specific uses: _____
- Surface mining operations of a temporary type: Please describe: _____

SITE PLAN REQUIRED: A site plan is required for all proposed buildings or structures (except single-family dwellings) in the MLHP District. If the applicant proposes the subdivision of land inside the MLHP, he/she must submit a subdivision plat in accordance with the Madison County *Subdivision Regulations*. All site plans (required for construction on a single lot) shall be prepared in accordance with Sections 402.16-19 and 505 of the Madison County Zoning Ordinance.

Previously submitted

ADDITIONAL INFORMATION REQUIRED FOR DEVELOPMENT OF ALL COMMERCIAL PROPERTIES:

1. Detailed lighting plan for grounds and buildings.
2. Detailed landscaping plan.

Approval of this application for a Certificate of Appropriateness is required under Section 402.16-21 of the Madison County Zoning Ordinance. The Mannsdale-Livingston Heritage Preservation Commission will review this application and make a recommendation to the Board of Supervisors as to whether a Certificate of Appropriateness should be issued to the applicant. For approval of this application, the applicant must demonstrate that the proposed building or structure is not excessively similar or dissimilar to other like buildings or structures in the MLHP district and that the proposed building/structure or use would not provoke one of the harmful effects listed below:

- Lower property values;
- Decreased economic growth; and/ or
- Diminished future opportunities for land use and development.

No building permit shall be issued by the County Building Official for any proposed construction in the MLHP district without a Certificate of Appropriateness.

CERTIFICATE OF APPROPRIATENESS

Following review of the above application for a Certificate of Appropriateness with the required site plan and all supporting information, the Chairman of the Mannsdale-Livingston Heritage Preservation Commission may sign this Certificate indicating a recommendation for approval of the application and issuance of a Certificate. However, if the application for issuance of a Certificate is recommended for *denial*, the applicant shall have the right to appeal the recommendation of the Commission directly to the Board of Supervisors. *The Minutes of the Commission shall accompany the application indicating specific findings in this case, whether recommended for approval or denial.*

We, the Mannsdale-Livingston Heritage Preservation Commission, have reviewed the above application for a Certificate of Appropriateness with the required site plan and do hereby recommend issuance of this Certificate to the Applicant.

Chairman
Mannsdale-Livingston Heritage Preservation Commission

Date

APPROVED BY THE MADISON COUNTY BOARD OF SUPERVISORS:

President

Date

BEFORE THE PLANNING AND ZONING COMMISSION AND THE
BOARD OF SUPERVISORS OF
MADISON COUNTY, MISSISSIPPI

IN THE MATTER OF THE REZONING
OF CERTAIN LAND SITUATED IN
SECTION 16, TOWNSHIP 8 NORTH,
RANGE 1 EAST, MADISON COUNTY,
MISSISSIPPI

Tomasa Sanchez

PETITIONER

NOTICE OF HEARING

TO: Surrounding Property Owners

PLEASE TAKE NOTICE that Tomasa Sanchez has filed a Petition to rezone and reclassify a 5 acre tract of land situated in Section 16, Township 8 North, Range 1 East, Madison County, Mississippi. The petition and legal description of the subject property is attached hereto and made part of this Notice.

The subject property is currently zoned R-1 Residential. The Petitioner has thus filed a Petition to rezone and reclassify the subject property from its present classification to a classification of C-1A Commercial.

Please take notice that the Madison County Planning and Zoning Commission will conduct a public hearing on the said Petition in the Board of Supervisors Hearing Room in the Madison County Administrative Office Building, located at 125 West North Street, Canton, Mississippi at 9 a.m. on Thursday, May 16, 2024, or on a subsequent date to which the matter may be continued.

As the owner of the property located within 160 feet of the subject property (excluding the right of ways for streets and highways), you have the right to offer any objection to or support of the Petition. However, you are not required to be present.

You are given this Notice in accordance with Section 806.05 of the Madison County Zoning Ordinance, adopted December 2019. This the 29 day of April,
2024

By: Tomasa Sanchez

Contact Information Madison County Planning and Zoning

601-855-5501

BEFORE THE BOARD OF SUPERVISORS OF THE COUNTY OF MADISON
STATE OF MISSISSIPPI

IN THE MATTER OF REZONING OF
CERTAIN LAND SITUATED IN SECTION 16th
TOWNSHIP 8 NORTH, RANGE 1 EAST/WEST
MADISON COUNTY, MISSISSIPPI

PETITIONER:

Tomasa Sanchez

PETITION TO REZONE AND RECLASSIFY REAL PROPERTY

Comes now Tomasa Sanchez, owner of the hereinafter described land and property, and files this petition with the Board of Supervisors of Madison County, Mississippi, to rezone and reclassify a tract or parcel of land situated in Section 16th Township 8 N, Range 1, Madison County, Mississippi, more particularly described as follows, to-wit:

SEE EXHIBIT A

from its present Zoning District Classification of R-1 to a C-1A Commercial District, in support thereof would respectfully show as follows, to-wit:

1. The subject property consists of 5 acres.
2. The zoning proposed (R) is not in compliance with the adopted Land Use and Transportation Plan of Madison County, but is the highest and best use.
3. List of changes or conditions that support rezoning:

SEE EXHIBIT B

WHEREFORE, PREMISES CONSIDERED, Petitioners respectfully request that this petition be received, and after due consideration, the Board of Supervisors of Madison County will enter an order amending the land use plan to reflect Commercial zoning, and reclassifying this property from its present R-1 District classification to a C-1A Commercial District.

Respectfully submitted, this the 24 day of January, 2023.

Tomasa Sanchez, Petitioner



Madison County, MS
CERTIFY THIS INSTRUMENT FILED/RECORDED
11/29/2023 3:58:43 PM
INST. 995425 PAGE 1 OF 8
BOOK W - 4390755
WITNESS MY HAND AND SEAL
Ronny Lott, C.C. BY: DA D.C.

INDEXING INSTRUCTIONS: 4.98 acres, more or less, and easement located in the NE1/4 of SE1/4 of Section 16, Township 8 North, Range 1 East, Madison County, Mississippi (Tax Parcel #081E-16-001/03.01)

ASSIGNORS:

ASSIGNEE:

Edgar Uribe and Tomasa Sanchez
174 Brisco Court
Madison, MS 39110

EDUS Properties, LLC
174 Brisco Court
Madison, MS 39110

Telephone: (601) 421-5391

Telephone: (601) 421-5391

Prepared by:
Madison County School District
476 Highland Colony Boulevard
Madison, MS 39110
Telephone: 601/499-0800

**ASSIGNMENT OF LONG TERM
COMMERCIAL LEASE CONTRACT**

FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, the undersigned, **Edgar Uribe** and wife, **Tomasa Sanchez** ("Assignors"), do hereby set over and assign unto **EDUS Properties, LLC**, a Mississippi Limited Liability Company ("Assignee"), all of their right, title and interest in and to that certain 16th Section Commercial Lease Contract from the Madison County, Mississippi,

Board of Education dated October 9, 2012 and recorded in Book 2871 at Page 690 in the records in the office of the Chancery Clerk of Madison County, Mississippi (hereinafter the "Commercial Lease"), insofar as, and only insofar as, same pertains to the following described property located within Madison County, Mississippi, to wit:

The legal description is attached hereto as Exhibits "A" and "B", and incorporated herein by reference. A plat of survey is attached hereto as Exhibit "C" for informational purposes.


This instrument is subject to the covenants and conditions contained in the hereinabove Commercial Lease, and Assignee does hereby agree and covenant that he/she/it/they will do and perform all of the covenants required in said Commercial Lease.

Assignee accepts this assignment and agrees to be obligated and bound to the Madison County Board of Education, Trustees of the Madison County 16th Section School Lands Trust, for the performance of all of the covenants contained in the Commercial Lease mentioned above.

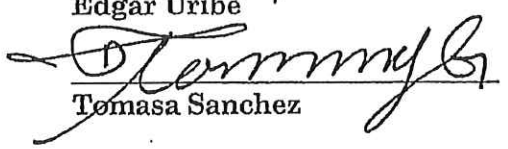
This assignment is subject to the zoning and subdivision regulation ordinances of Madison County, Mississippi.

IN WITNESS WHEREOF, this the 6th day of November, 2023.

ASSIGNORS:



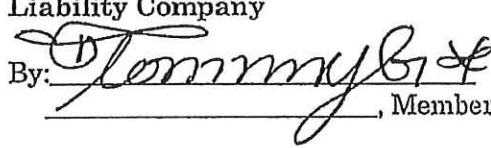
Edgar Uribe



Tomasa Sanchez

ASSIGNEE:

EDUS Properties, LLC, a Mississippi Limited
Liability Company

By: 
_____, Member

STATE OF MISSISSIPPI
COUNTY OF Madison

PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the said county and state, on this 14 day of November, 2023, within my jurisdiction, the within named Edgar Uribe and wife, Tomasa Sanchez, who acknowledged to me that they executed the above and foregoing instrument.



Don-Michael Trimm
NOTARY PUBLIC

STATE OF MISSISSIPPI
COUNTY OF Madison

PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the said county and state, on this 14 day of November, 2023, within my jurisdiction, the within named Tomasa Sanchez, who acknowledged to me that he (she) is a Member of EDUS Properties, LLC, a Mississippi Limited Liability Company, and that for and on behalf of the said EDUS Properties, LLC, and as its act and deed, he (she) executed the above and foregoing instrument, after first having been duly authorized so to do.



Don-Michael Trimm
NOTARY PUBLIC

This Assignment is approved this the 10 day of NOV, 2023.

Madison County Board of Education

By: *Samuel C. Kelly*
Samuel C. Kelly, President

ATTEST:

Charlotte A. Seals
Charlotte A. Seals, Superintendent
Of Madison County School District

STATE OF MISSISSIPPI
COUNTY OF MADISON

PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the said county and state, on this 10 day of NOV, 2023, within my jurisdiction, the within named **Samuel C. Kelly** and **Charlotte A. Seals** who acknowledged to me that they are President and Superintendent, respectively, of the **Madison County Board of Education**, and that for and on behalf of the said Madison County Board of Education, and as its act and deed, they executed the above and foregoing instrument, after first having been duly authorized so to do.

Ashley Browning
NOTARY PUBLIC

My Commission Expires:



[SEAL]

EXHIBIT "A"

INDEXING INSTRUCTIONS: NE ¼ of the SE ¼ of Sec. 16, T-8-N, R-1-E, Madison
County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83/93, grid values, using a combined scale factor of 0.999941926 and a convergence angle of 00 degrees 04 minutes 34 seconds developed at the Point "A", derived from a 2 hour GPS static observation adjusted to CORS stations MSYZ and MSJK.

4.93 ACRES

Commencing at the northeast corner of Section 16, being represented by a long standing 6" round concrete monument, thence run South 0 degrees 41 minutes 00 seconds West a distance of 2889.36 feet to a 1/2" rebar set, said point having a value of N:1105078.60, E:2340150.80 on the above referenced coordinate system; thence run South 57 degrees 21 minutes 54 seconds West a distance of 651.51 feet to a iron pin found at the **Point of Beginning** of the herein described tract;

From the **Point of Beginning** run thence South 37 degrees 50 minutes 49 seconds East a distance of 498.32 feet to an iron pin found 25 feet north of the north line of a 200 foot wide right of way for an electric power transmission line, said point having a value of N:1104333.77, E:2339907.92 on the above referenced coordinate system; thence along a line parallel to and 25 feet from said power line right of way South 45 degrees 27 minutes 55 seconds West a distance of 419.69 feet to a iron pin found on the east right of way of Mississippi Highway 463, said point having a value of N:1104039.42, E:2339608.75 on the above referenced coordinate system; thence North 34 degrees 55 minutes 08 seconds West a distance of 524.49 feet to an iron pin found on the southern bank of a large ditch; thence North 34 degrees 55 minutes 08 seconds West a distance of 46.87 feet to a point in the large ditch; thence North 55 degrees 36 minutes 34 seconds East a distance of 388.34 feet to the **Point of Beginning**, containing 4.93 acres, more or less, and situated in the Northeast Quarter (NE 1/4) of the Southeast Quarter (SE 1/4) of Section 16, Township 8 North, Range 1 East, Madison County, in the Great State of Mississippi.

ALSO, along with the above described 4.93 acre tract, grantee is granted a 60 foot wide ingress/egress and utility easement along the south line and described separately.

Richard T. Tolbert, PLS
Madison County Surveyor
100 Old Orchard Road
Madison, MS 39110

601-750-1669 (cell)

July 7, 2012

EXHIBIT "B"

INDEXING INSTRUCTIONS: NE ¼ of the SE ¼ of Sec. 16, T-8-N, R-1-E, Madison
County, Mississippi.

The following description is based on the Mississippi State Plane Coordinate System, West Zone, NAD 83/93, grid values, using a combined scale factor of 0.999941926 and a convergence angle of 00 degrees 04 minutes 34 seconds developed at the Point "A", derived from a 2 hour GPS static observation adjusted to CORS stations MSYZ and MSJK.

**60 FOOT EASEMENT FOR INGRESS/EGRESS & UTILITY SERVICES
FFOR A 4.93 ACRE TRACT**

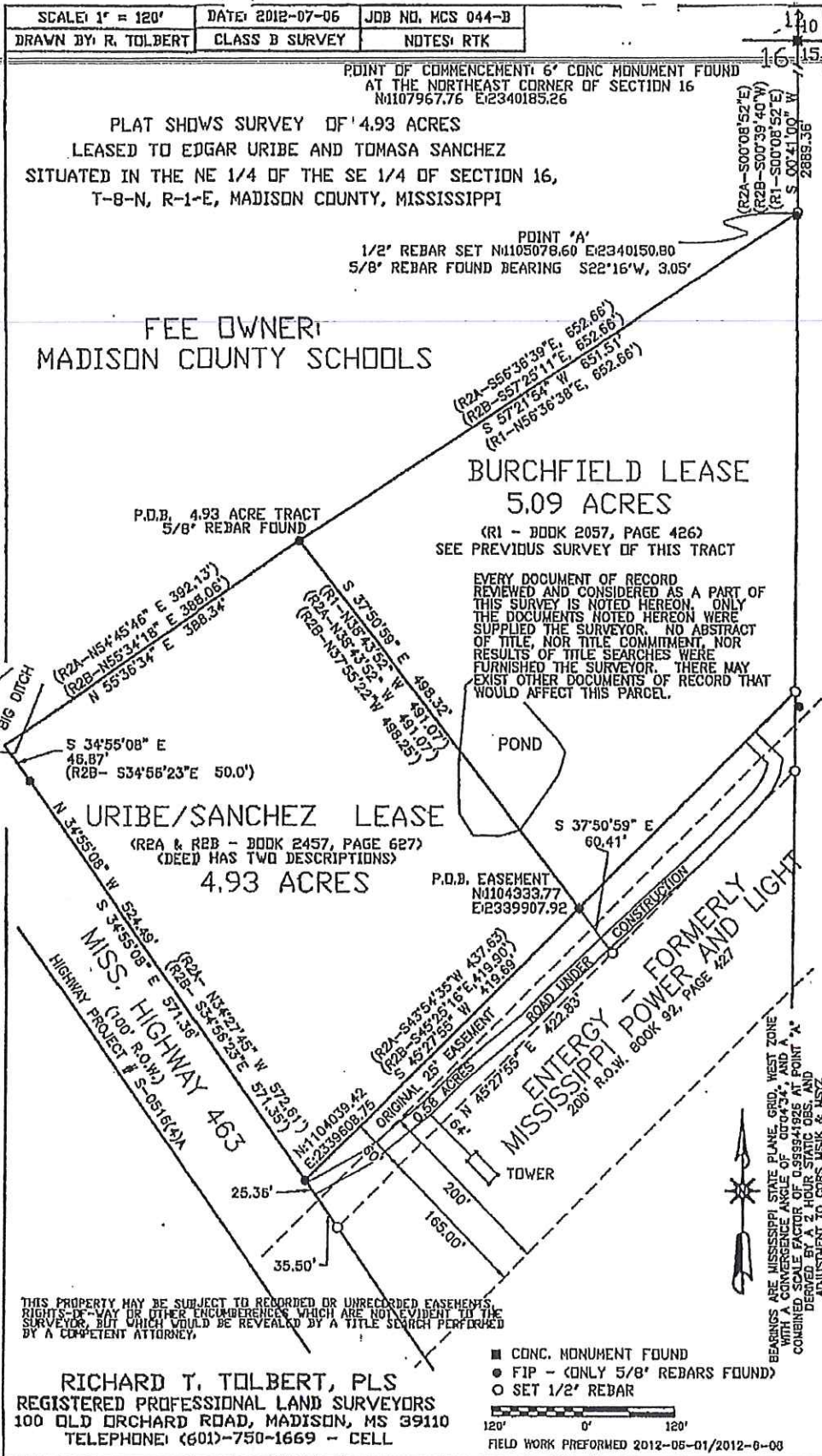
Commencing at the northeast corner of Section 16, being represented by a long standing 6" round concrete monument, thence run South 0 degrees 41 minutes 00 seconds West a distance of 2889.36 feet to a 1/2" rebar set, being Point "A", said point having a value of N:1105078.60, E:2340150.80 on the above referenced coordinate system, ; thence run South 57 degrees 21 minutes 54 seconds West a distance of 651.51 feet to a iron pin found; thence run South 37 degrees 50 minutes 59 seconds East a distance of 498.32 feet to a iron pin found to an iron pin found 25 feet north of the north line of a 200 foot wide right of way for an electric power transmission line, said point having a value of N:1104333.77, E:2339907.92 on the above referenced coordinate system being the Point of Beginning of the herein described easement;

From the Point of Beginning run thence South 37 degrees 50 minutes 49 seconds East a distance of 60.41 feet; run thence along a line parallel to and 45 feet southerly of said right of way line South 45 degrees 27 minutes 55 seconds West a distance of 422.83 feet to the eastern right of way of Mississippi Highway 463, thence along the highway right of way North 34 degrees 55 minutes 08 seconds West a distance of 60.86 feet to a found iron pin, said point having a value of N:1104039.42, E:2339608.75 on the above referenced coordinate system; thence along a line 25 feet, and parallel to, the northerly line of the power line easement North 45 degrees 27 minutes 55 seconds East a distance of 419.69 feet to the Point of Beginning, containing 0.58 acres, more or less, and situated in the Northeast Quarter (NE 1/4) of the Southeast Quarter (SE 1/4) of Section 16, Township 8 North, Range 1 East, Madison County, in the Great State of Mississippi.

Richard T. Tolbert, PLS
Madison County Surveyor
100 Old Orchard Road
Madison, MS 39110

601-750-1669 (cell)

July 7, 2012



MADISON COUNTY MISSISSIPPI LOT
CERTIFY THIS INSTRUMENT WAS FILED ON 11/29/2023 3:58:43 PM AND RECORDED IN W BOOK 4390 PAGE 755

Exhibit "C"

Point of Beginning
SIP

FIP
± 4' South

Book 2057, Page 426

S55°34'18"W
388.06'

N37°55'20"W
496.25'

4.93 Acres,
More or Less

ENERGY RIGHT OF WAY
S34°56'23"E
571.35'

HIGHWAY 463
Federal Aid Secondary Project FS-05161(A)

N45°25'16"E
419.90'

25' Ingress/Egress Easement

ENERGY POWER LINE EASEMENT
Book 92 Page 427

200.00'

Book 514, Pt

Ditch

50.0'

Set Iron Pin
Witness Corner

SIP

SIP



POINT OF COMMENCEMENT IS CORNER POINT FOUND 16.18' (30.00' 00.00' W, 00.00' 00.00' N) (30.00' 00.00' W, 00.00' 00.00' N)

LEASE TO BE MADE SURVEY BY 4.28 ACRES
 LEASED TO GREAT BRIDGE AND TRINIDAD SCHOOLS
 SURVEYED ON THE 21ST OF APRIL 1987 BY GREAT BRIDGE
 TRINIDAD SCHOOLS SURVEYOR, MISSISSIPPI

FEE OWNER
 MADISON COUNTY SCHOOLS

BURCHFIELD LEASE
 3.09 ACRES

SEE RECORD SURVEY IN THIS TRACT
 SURVEY DOCUMENT IS RECORDED AS PART OF
 THIS SURVEY AND IS A PART OF
 THE RECORDS OF THE MISSISSIPPI
 DEPARTMENT OF REVENUE. THE
 ORIGINAL SURVEY DOCUMENT IS
 FILED IN THE SURVEYOR'S OFFICE
 IN THE CITY OF JACKSON, MISSISSIPPI.
 THIS SURVEY DOCUMENT IS A
 TRUE AND CORRECT COPY OF THE
 ORIGINAL SURVEY DOCUMENT.

FRIBER/SANCHEZ LEASE
 4.93 ACRES

MISSISSIPPI POWER AND LIGHT
 ENERGY - FORMERLY
 MISSISSIPPI POWER AND LIGHT
 COMPANY

POND

MICHIGANWAY 463
 112.00' 00.00' W 524.48'
 172.00' 00.00' E 511.06'
 172.00' 00.00' S 514.93' 00.00' E 511.06'

RICHARD T. TOLBERT
 REGISTERED PROFESSIONAL LAND SURVEYOR
 100 OLD ORCHARD ROAD, MADISON, MISSISSIPPI
 TELEPHONE: (601)-750-1865

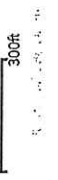
LEGEND
 ● CORNER - MONUMENT FOUND
 ○ SURVEY POINT - MONUMENT FOUND
 ○ SET BY THIS SURVEY

FILED WITH MISSISSIPPI DEPARTMENT OF REVENUE, JACKSON, MISSISSIPPI, APRIL 1987

The interface includes a search bar at the top left with the text "URIBE EDGAR & TOMASA X" and a search icon. Below the search bar is a button that says "Show search results for URIBE ...". To the right of the search bar are navigation controls: a home icon, a plus sign, a minus sign, and a refresh icon. The main map area displays a satellite-style image with overlaid colored polygons representing different zoning or land use districts. A red polygon is highlighted in the upper right quadrant. A tooltip window is open over this red polygon, containing the following text: "Zoning: R-1", "Zoning Description: [Link](#)", and "Zoom to".

Layer List

- Parcels
- Parks
- Polling Locations
- Voting Precincts
- Local Roads
- Schools
- Sections
- Subdivisions
- School Election Districts
- Old Supervisor Districts
- Supervisor/Election Commission Districts 2022
- Township Range
- Structures
- Zip Codes
- Zoning
- Electric Service Areas
- Gas Service Areas
- Sewer Service Areas
- Telecomm Service Areas
- Water Service Areas
- Existing Land Use
- Land Use Plan
- Old Justice Court Districts
- Justice Court/Constable Districts 2022
- MS House Districts
- MS Senate Districts



CERTIFICATE OF OCCUPANCY

(USE PERMIT)

MADISON COUNTY, MISSISSIPPI

No. 013960

KNOW ALL MEN BY THESE PRESENTS:

THAT URIBE EDGAR & TOMASA is hereby authorized and granted the right to use the following described property Which is zoned A for the following uses and purposes:

COMMERCIAL

Permit Number: 018598
Parcel Number: 081E-16 -001/03.01
Legal Description: PT E1/2 SE1/4
Address of Property: 470 MANNSDALE RD
Name of Owner: URIBE EDGAR & TOMASA
Address of Owner: 157 DEVLIN SPRINGS DR
MADISON MS39110
Section/Township/Range: 16 08N.1E

Description of that portion of the structure approved for which the certificate is issued:

Dated this 0 day of Aug, 2013

By _____
Building Official

By Ray Ritter
Mark J. [Signature]
Madison County Fire
Co-ordinator

The described portion of the structure has been inspected and complies with the requirements of the 2006 International Residential Code.

BOOK 2874 PAGE 805 . DOC 85 TY W
INST # 690828 MADISON COUNTY MS.
This instrument was filed for
record 12/04/12 at 2:19:13 PM
ARTHUR JOHNSTON, C.C. BY: DAD D.C.

INDEXING INSTRUCTIONS: 5± acres, more or less, in SE1/4 of Section 16,
Township 8 North, Range 1 East, Town of Flora, Madison County,
Mississippi (Parcel #081E-16-001/03.01).

LESSOR:

Madison County Board of Education
117 Fourth Street
Post Office Box 159
Flora, MS 39071
Telephone: (601) 879-3000

LESSEE:

Edgar Uribe and
Tomasa Sanchez
157 Devlin Springs Drive
Madison, MS 39110
Telephone: (601)855-8684

Prepared by:

Madison County School District
117 Fourth Street
Post Office Box 159
Flora, MS 39071
Telephone: 601/879-3000

#603

RESOLUTION OF THE MADISON COUNTY BOARD OF EDUCATION
TRUSTEES OF THE MADISON COUNTY SCHOOL DISTRICT'S
SIXTEENTH SECTION SCHOOL LANDS TRUST
VOIDING SIXTEENTH SECTION RESIDENTIAL LEASE IN ORDER
TO GRANT "OTHER" CLASSIFICATION LEASE

WHEREAS, the Madison County Board of Education is the Board of
Trustees of the Madison County School District's Sixteenth Section School
Lands Trust, charged with responsibility to manage all Sixteenth Section
School Trust Lands located within the boundaries of the School District; and,

WHEREAS, Sixteenth Section lands located in Township 8 North, Range 1 East, Madison County, Mississippi, were leased as follows:

1. 40-year long term residential lease contract dated July 1, 2002, recorded at Book 515 at Page 723 as pertains to 5± acres out of SE1/4 in Section 16, Township 8 North, Range 1 East, Madison County, Mississippi and recorded in the office of the Chancery Clerk of Madison County, Mississippi. Said lease expires according to its terms on June 30, 2042. The leasehold was assigned to Edgar Uribe and wife, Tomasa Sanchez, by document dated July 28, 2009 and recorded in Book 2457 at Page 627. The property is identified as Tax Parcel Number 081E-16-001/03.01.

WHEREAS, the subject property was reclassified from "residential" classification to "other" classification according to requirements of Miss. Code Ann. § 29-3-39 in order to grant a new lease to the lessees for use as a daycare facility; and

WHEREAS, the residential lease recorded in Book 515 at Page 723 in the office of the hereinbefore mentioned Chancery Clerk should be cancelled and declared void regarding the following described property:

The legal description is attached hereto as Exhibit "A" and incorporated herein by reference.

WHEREAS, the Board of Education wishes to adopt this Resolution as a permanent record of the Board's action with respect to the said lease.

IT IS, THEREFORE, FOUND, ADJUDICATED AND RESOLVED that:

- 1) The matters and facts stated in the preamble hereof are found, determined, adjudicated and resolved to be true and correct;

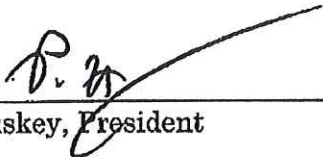
- 2) The leasehold as described in Book 515 at Page 723 in the records in the office of the Chancery Clerk of Madison County, Mississippi, be and the same is hereby, declared null and void.

IT IS, FURTHER, FOUND, ADJUDICATED AND RESOLVED that:


- 1) An appropriate Acknowledgment shall be prepared and attached to this Resolution to be duly recorded in the land records of Madison County, Mississippi, as and for a record of the action of the Board of Education with respect to the hereinbefore mentioned leasehold estate.

SO RESOLVED by the Madison County Board of Education, Trustees of the Madison County School District's Sixteenth Section School Lands Trust, this the 3rd day of December, 2012.

MADISON COUNTY BOARD OF EDUCATION,
TRUSTEES OF THE MADISON COUNTY
SCHOOL DISTRICT'S SIXTEENTH SECTION
SCHOOL LANDS TRUST

By: 
P. Huskey, President

ATTEST:


Ronnie L. McGehee, Superintendent

STATE OF MISSISSIPPI
COUNTY OF MADISON

PERSONALLY APPEARED BEFORE ME, the undersigned authority in and for the said county and state, on this 3rd day of December, 2012, within my jurisdiction, the within named P. Huskey and Ronnie L. McGehee, who acknowledged to me that they are President and

Superintendent, respectively, of the **Madison County Board of Education**, and that for and on behalf of the said Madison County Board of Education, and as its act and deed, they executed the above and foregoing instrument, after first having been duly authorized so to do.

Letitia H. Reeves
NOTARY PUBLIC

My Commission Expires:



Resolution 2013-7134 Resolution Voiding Uribe Residential Lease

Part Sec. 16, Township 8 North, Range 1 East
Madison County, Mississippi

Parcel 2
5.00 Acres

Commencing at the Northeast corner of Section 16, Township 8 North, Range 1 East, Madison County, Mississippi; thence run South $00^{\circ}08'52''$ East, 2889.36 ft.; thence run South $56^{\circ}36'39''$ West, 652.66 ft. to the Point of Beginning of the herein described parcel; thence run South $38^{\circ}43'52''$ East, 491.07 ft.; thence run South $43^{\circ}54'35''$ West, 437.63 ft.; thence run North $34^{\circ}27'45''$ West, 572.61 ft.; thence run North $54^{\circ}45'46''$ East, 392.13 ft. to the Point of Beginning, containing 5.00 acres, more or less.

Together with a 25 foot wide access easement lying South of adjacent to and parallel to the South line of the above described parcel, also lying North of adjacent to and parallel to the Mississippi Power & Light Easement as recorded in Deed Book 92 at Page 427 in the Land Records of Madison County, Mississippi and East of Mississippi Highway 463.

ALSO DESCRIBED AS:

Property Description:

A parcel of land lying and situated in the SE $\frac{1}{4}$ of Section 16, Township 8 North, Range 1 East, Madison County, Mississippi being more particularly described as follows:
Commence at a 6" concrete monument representing the NE corner of Section 16, Township 8 North, Range 1 East, Madison County, Mississippi and run thence $S 0^{\circ}$ degrees 39 minutes 40 seconds W along the East line of said section 16 for a distance of 2889.36 feet to a point; thence run $S 57^{\circ}$ degrees 25 minutes 11 seconds W for a distance of 652.66 feet to an iron pin which is the Point of Beginning of the parcel herein described. From the Point of Beginning run thence $S 55^{\circ}$ degrees 34 minutes 18 seconds W for a distance of 388.06 feet to a point on the easterly right of way of Highway 463 per Federal Aid Secondary Project # S-0516(4)A, said point being a distance of 50.0 feet N 34° degrees 56 minutes 23 seconds W of an iron pin witness corner; thence run $S 34^{\circ}$ degrees 56 minutes 23 seconds E along said easterly right of way for a distance of 571.35 feet to an iron pin; thence run N 45° degrees 25 minutes 16 second East along a line that is 25.0 feet northerly of and parallel to the northerly line of that 200 feet wide power line easement described in Book 92 at page 427 for a distance of 419.90 feet to an iron pin; thence run N 37° degrees 55 minutes 22 seconds W for a distance of 498.25 feet to the Point of Beginning. This parcel contains 4.93 acres, more or less.

EXHIBIT "A"



Quality Custom Design
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NCBCEB0100124119

RE: PLAN ATTACHED TO LAND USE TAX ORT. ALL RIGHTS AND INTERESTS RESERVED BY DESIGN STUDIO, INC.

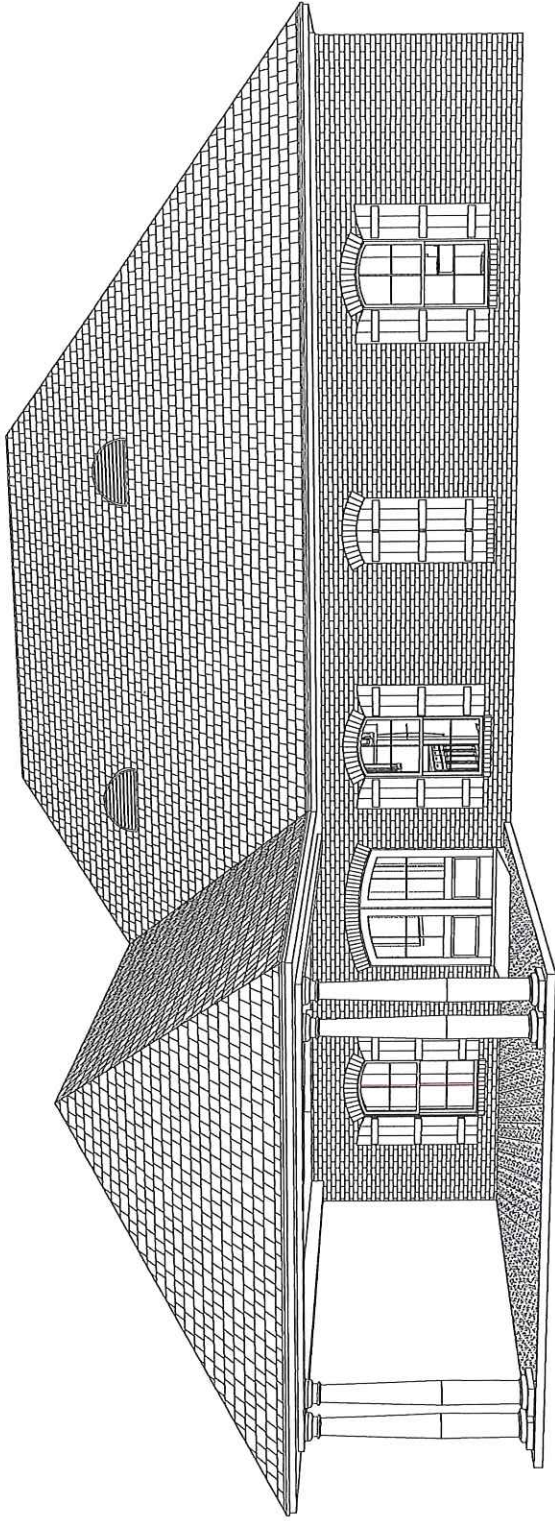
DESIGN STUDIO, INC
745 AMMON DRIVE, SUITE A, ROSELAND, NC 28157
PHONE: (601) 888-9712 FAX: (601) 888-9712
email: uprtdesign@designstudio.com
www.designstudio.com

The Kid's World
Center

Cover Sheet

Project number: 18361
Date: 05-14-12
Drawn by: MS
Checked by: UP

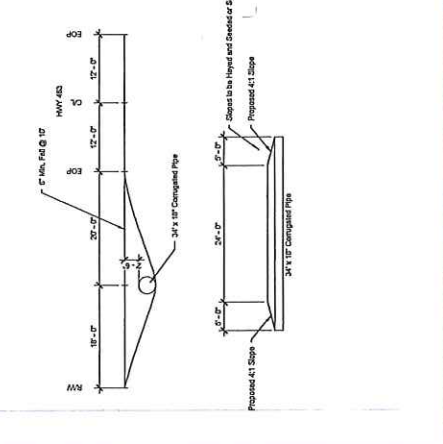
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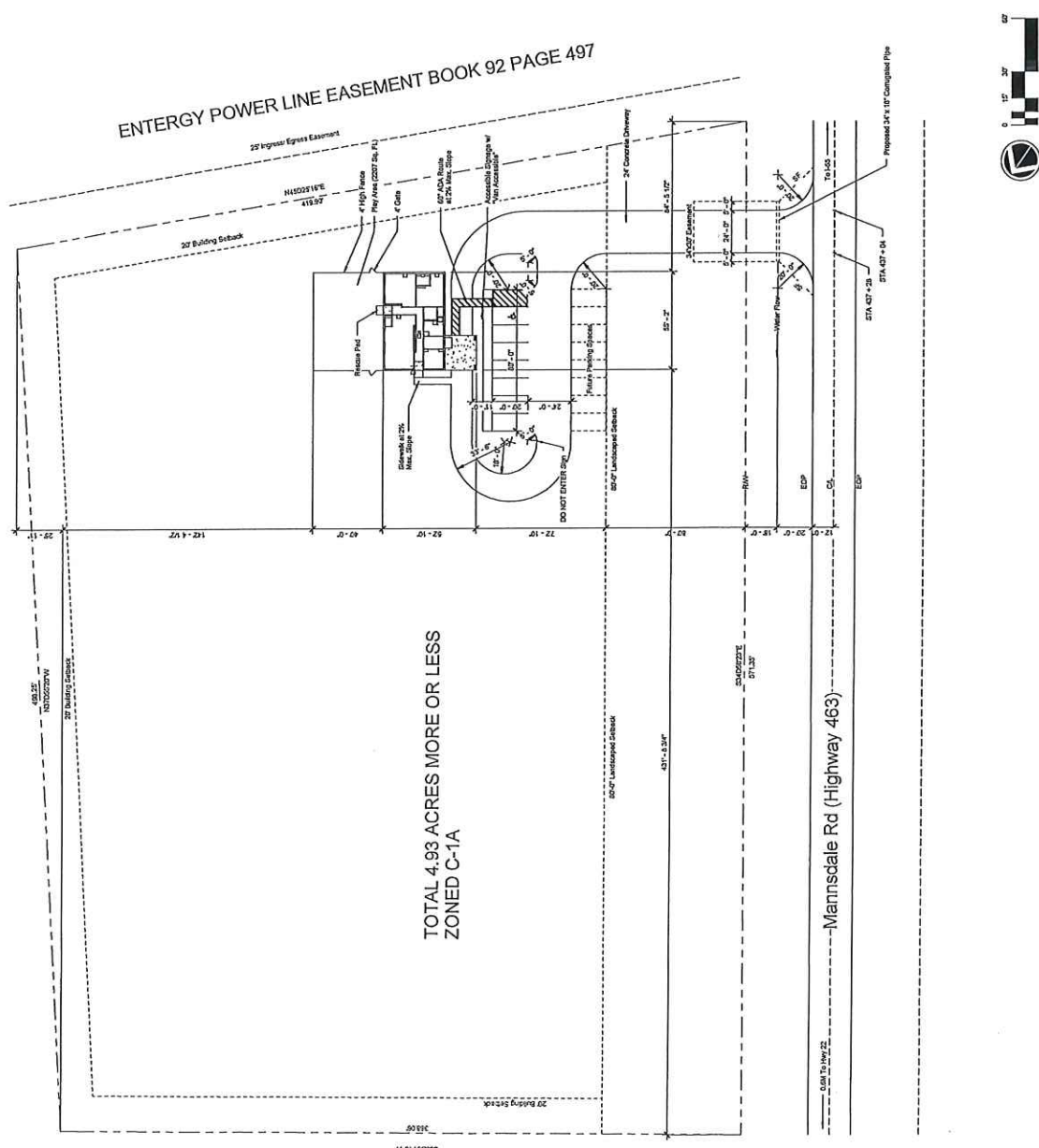
KIDS' WORLD CENTER
MADISON COUNTY, MISSISSIPPI

SITE PLAN
THE KIDS' WORLD CENTER
 PART OF A 4.93 ACRE PARCEL
 HWY 463
 MADISON COUNTY, MISSISSIPPI
 OWNER: TOMASA SANCHEZ
 CURRENT ADDRESS:
 TELEPHONE NO.:
 BUILDER:
 ADDRESS:
 TELEPHONE NO.:
 BUILDING PERMIT NO.:

GENERAL NOTES:
 ALL DIMENSIONS, PROPERTY LINES, SETBACK LINES AND EASEMENTS SHALL BE VERIFIED BY OWNER AND CONTRACTOR PRIOR TO CONSTRUCTION.
 FINISH GRADE ELEVATION SHALL BE A MINIMUM OF 1" ABOVE FINISH GRADE ELEVATION (INCLUDING SLOPE).
 FINISH GRADE INCLUDING SLOPE AT 10'-0" PERMETER DISTANCE FROM THE BUILDING OR DISTANCE THE PROPERTY LINE (WHICHEVER IS LESS) SHALL BE A MINIMUM OF 1" LOWER THAN FINISH FLOOR GRADE OF ENTIRE LOT SHALL HAVE A MINIMUM OF 2% SLOPE FOR PROPER DRAINAGE.
 ALL IMPROVEMENTS SHOWN ARE PROPOSED.
 BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BRICK OR BLOCK PLAN ONLY.
 ALL CURVED LOT DIMENSIONS ARE CHORD LENGTH UNLESS OTHERWISE NOTED.
 SETBACKS:
 ALL SETBACKS SHALL BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE WITH A COMPRESSIVE STRENGTH OF 3000 PSI IN TWENTY EIGHT DAYS.
 ALL SETBACKS SHALL BE TO HAVE A WIDTH AND SHALL BE CONSTRUCTED AS PER THE LOCATION AND DIMENSIONS SHOWN.
 ALL EXPANSIONS SHALL BE CONSTRUCTED OF 1/2" THICK PRE-CAST EXPANSION MATERIAL WITH ALL EXPANSION JOINTS TO BE FORMED BY EXPANSION JOINT.
 EXPANSION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF 3/4" AT FOUR (4) FOOT INTERVALS WITH ALL JOINTS TO BE FORMED BY EXPANSION JOINT.
 ALL SETBACKS SHALL BE CONSTRUCTED TO A MINIMUM OF 1' FROM THE PROPERTY LINE.
 DRIVEWAY OR STREET SHALL BE REQUIRED TO INSTALL CURB RAMP AT A MINIMUM SLOPE OF 1:12 WITH A MINIMUM RISE OF 3" AND A MINIMUM LEVEL STRAIGHT CURB OF 6".
 THE SYSTEM OF THE DRIVEWAY AND INTERSECTION WINDUP RAMP SURFACES SHALL BE CONSTRUCTED OF NON-SKID PAVEMENT.
 AT RIGHT ANGLE DIRECTIONS, DRIVEWAYS ARE TO BE APPROXIMATELY 1/4" X 1/4" WIDE.
 DRIVEWAYS SHALL BE SLOPED 1" TOWARD THE STREET.
 ALL DRIVEWAYS BETWEEN THE STREET AND PROPERTY LINE CONNECTING WITH AN EXISTING DRIVEWAY ARE TO BE CONSTRUCTED TO MATCH THE EXISTING DRIVEWAY AND SHOWN IN THIS PLAN UNLESS OTHERWISE SPECIFIED BY LOCAL ORDINANCE OR SUBDIVISION COVENANTS.

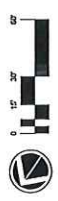


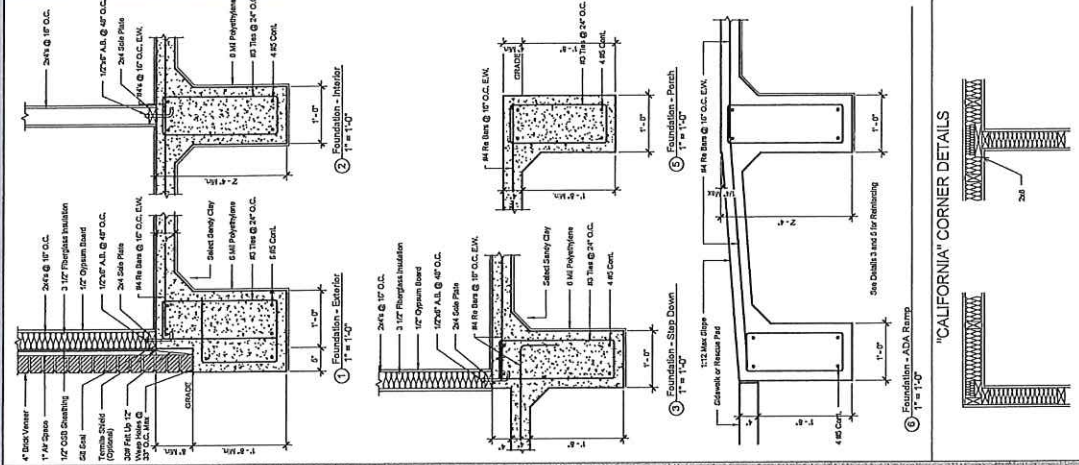
ENERGY POWER LINE EASEMENT BOOK 92 PAGE 497



TOTAL 4.93 ACRES MORE OR LESS
 ZONED C-1A

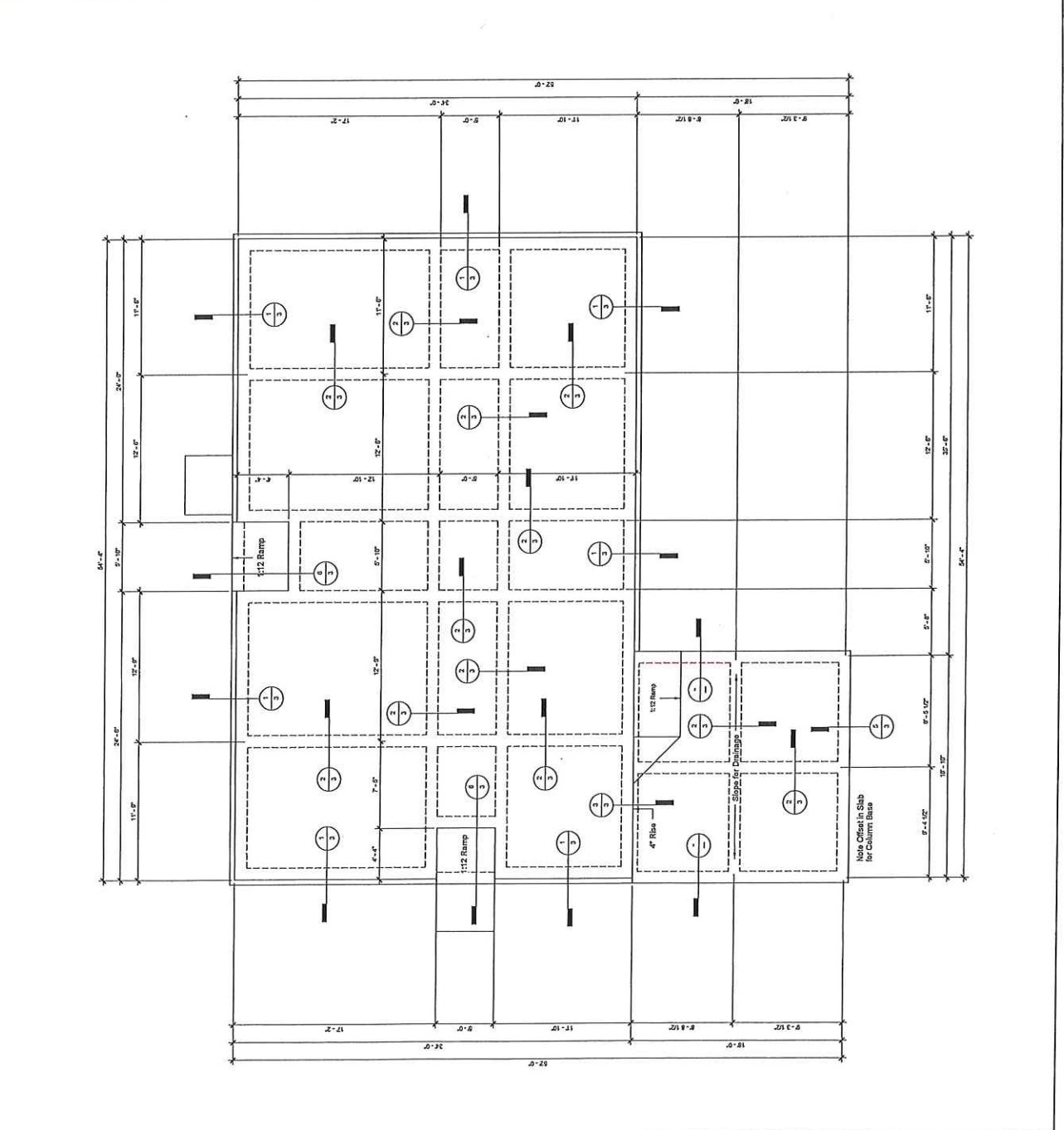
Mannsdale Rd (Highway 463)





FOUNDATION NOTES

1. ABOVE CONDITIONS APPLY TO SITES WITH LOWER SOILS (TOP OF FINISHING A PASTISTY AND UP TO 24" BELOW). FOR SITES WITH HIGHER SOILS (TOP OF FINISHING A PASTISTY AND UP TO 24" BELOW), ALL DIMENSIONS SHALL BE CONSULTED TO A.S.I. IS NOT IN COMPLIANCE WITH THESE SPECIFICATIONS.
2. ALL DIMENSIONS SHALL BE CONSULTED TO A.S.I. IS NOT IN COMPLIANCE WITH THESE SPECIFICATIONS.
3. IF MAXIMUM LOADS EXCEED 1000 LBS, CONTACT EACH LIFT TO BE STRENGTHENED PROPORTIONATELY.
4. ANY PASTISTY NEEDS OF NOT LESS THAN 10% MORE THAN 1".
5. PROVIDE FOOTING CHANGES AWAY FROM EACH CORNER AT LEAST 12" OF EDGE, AT 18" AWAY FROM FOUNDATION.
6. PROVIDE 100% VIBRATION CURTAIN UNDER CONCRETE TO AROUND ALL REBAR AND ALL JOINTS AND CRACKS.
7. PROVIDE 100% VIBRATION CURTAIN UNDER CONCRETE TO AROUND ALL REBAR AND ALL JOINTS AND CRACKS.
8. PROVIDE 100% VIBRATION CURTAIN UNDER CONCRETE TO AROUND ALL REBAR AND ALL JOINTS AND CRACKS.
9. ALL CONCRETE SHALL CONFORM TO CURRENT A.S.I. SPECIFICATIONS AND SHALL BE RECYCLED SAND AND GRAVEL.
10. PROVIDE NECESSARY ACCESSORIES TO HOLD REINFORCING BARS IN THE PROPER POSITION.
11. USE #4 BARS AT 20" ON CENTER AND #4 CORNERS AT 20" AT CORNERS.



Door Type	Width	Height	Description	Count
1	5'-0"	8'-0"	Pair - Exterior Wood Archtop 4 Light Over Raised Panel	1
2	3'-0"	8'-0"	Exterior Wood 4 Light Over Raised Panel	2
3	3'-0"	8'-0"	Interior Wood 4 Light Over Raised Panel	2
4	2'-0"	8'-0"	Interior Wood Raised Panel	9
5	2'-0"	8'-0"	Interior Wood Raised Panel	1
Grand total				13

Type Mark	Width	Height	Description	Count
A	5'-0"	8'-0"	Acmed Double Hung W Insulated Glass	3
B	5'-0"	8'-0"	Pair - Double Hung W Insulated Glass	3
Grand total				6

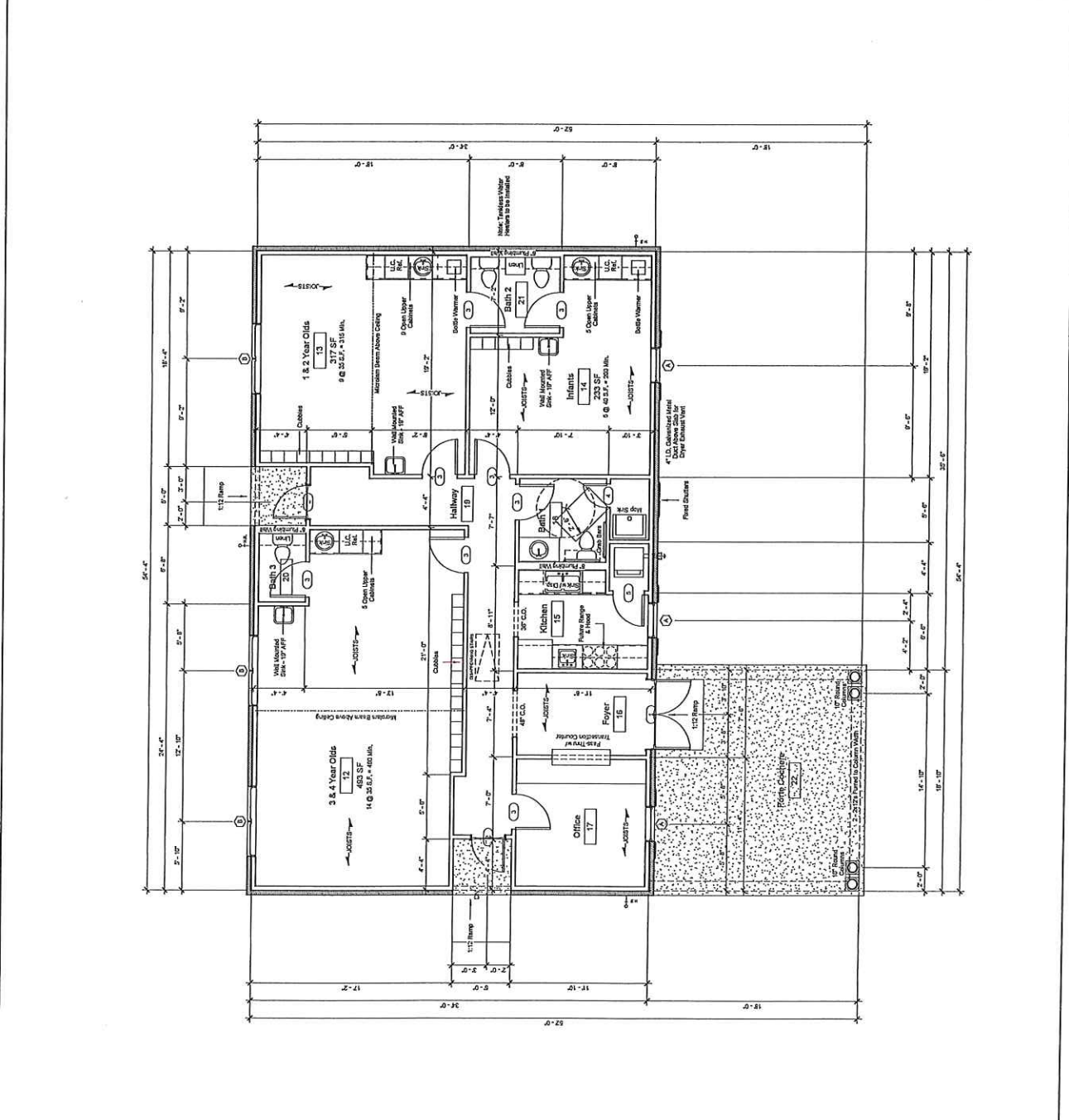
Area Schedule (Framed)	Name	Area
Living Area	Living Area	1874 SF
Porches	Porches	2274 SF
Area Schedule (Masonry)		
Living Area	Living Area	1874 SF
Porches	Porches	2274 SF

Floor Joists		Floor Trusses		Roof Rafters	
2 X 8 @ 12" O.C.	16" O.C.	24" O.C.	12" O.C.	12" O.C.	24" O.C.
2 X 8 @ 12" O.C.	16" O.C.	24" O.C.	12" O.C.	12" O.C.	24" O.C.
2 X 8 @ 12" O.C.	16" O.C.	24" O.C.	12" O.C.	12" O.C.	24" O.C.
2 X 10 @ 15" O.C.	16" O.C.	24" O.C.	12" O.C.	12" O.C.	24" O.C.
2 X 12 @ 20" O.C.	16" O.C.	24" O.C.	12" O.C.	12" O.C.	24" O.C.

Ceiling Joists		Ceiling Trusses	
2 X 8 @ 12" O.C.	16" O.C.	24" O.C.	12" O.C.
2 X 8 @ 12" O.C.	16" O.C.	24" O.C.	12" O.C.
2 X 8 @ 12" O.C.	16" O.C.	24" O.C.	12" O.C.
2 X 10 @ 15" O.C.	16" O.C.	24" O.C.	12" O.C.
2 X 12 @ 20" O.C.	16" O.C.	24" O.C.	12" O.C.

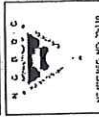
Notes

- *Spans are based on NO. 2 southern pine maximum spans by the Southern Pine Marketing Council
- ** Preliminary design only. Manufacturer shall submit engineering calculations.





745 AVENUE DRYDEN, SUITE A, WOODBRIDGE, MISSISSIPPI 39292
PHONE: (601) 582-7112
FAX: (601) 582-7112
www.dsgstudio.com



REGISTERED ARCHITECT
MISSISSIPPI

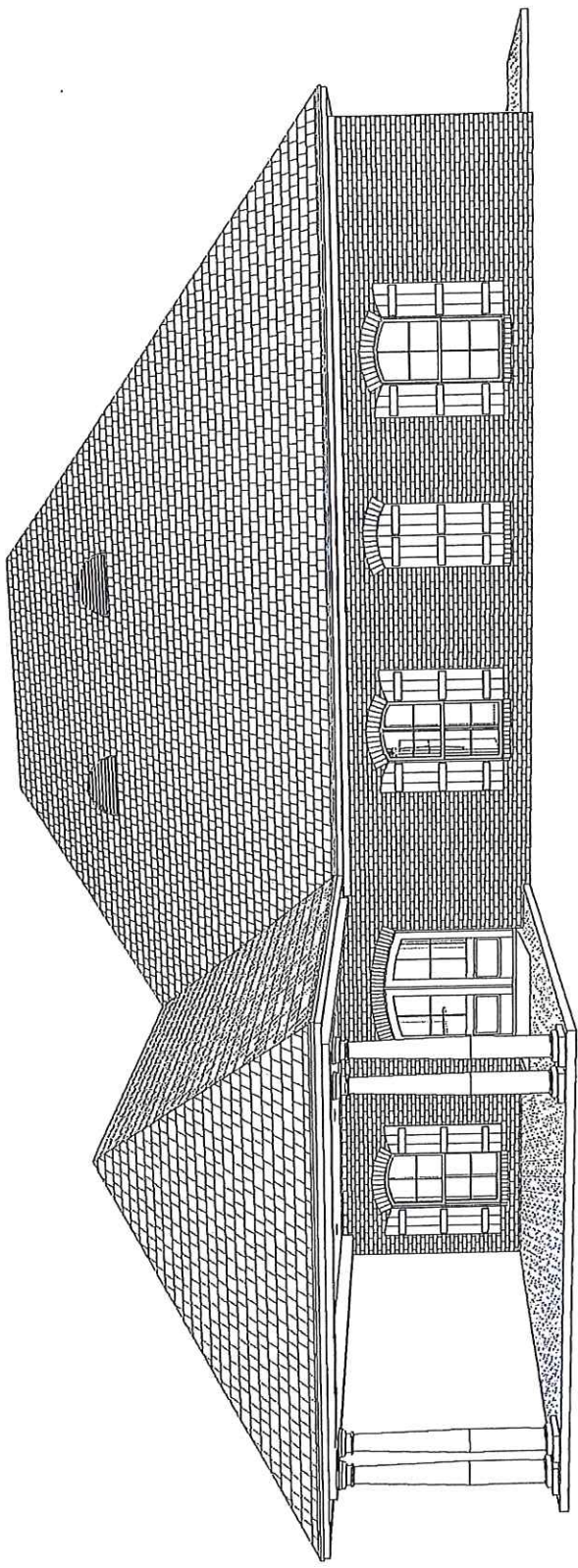
DESIGN STUDIO, INC

The Kids' World
Center II

Cover Sheet

Project Number: 2250
Date: 11/10/09
Location: WOODBRIDGE, MISSISSIPPI
Architect: D. S. G. Studio, Inc.

Sheet
1



KIDS' WORLD CENTER II
MADISON COUNTY, MISSISSIPPI



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 WWW: www.designstudio.com

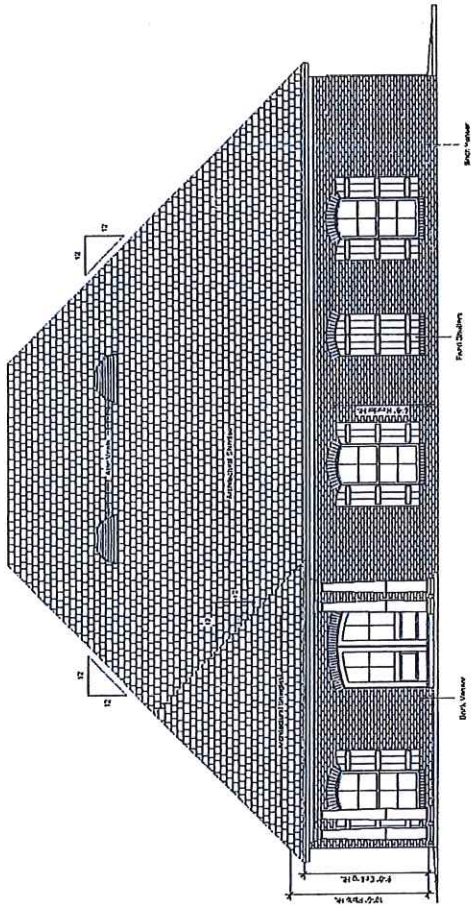
DESIGN STUDIO, INC.

The Kid's World
Center II

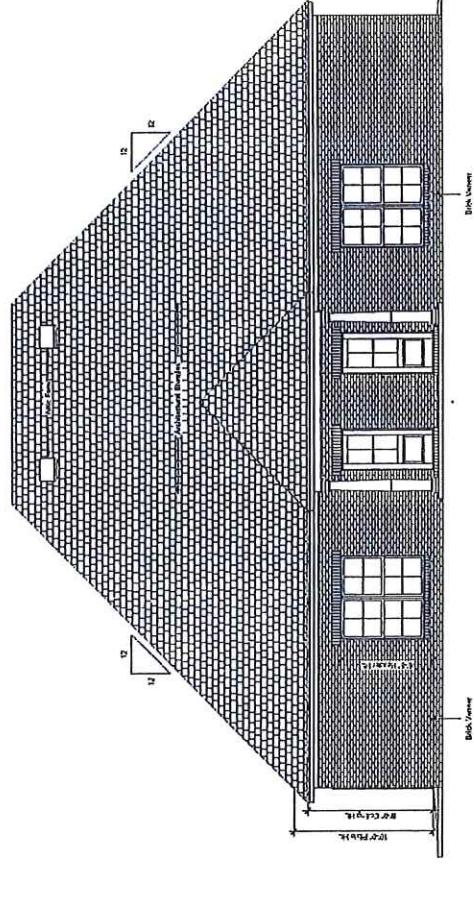
Exterior
Elevations

Project Number: 22209
 Date: 10-11-16
 Designer: C. MADDOX
 Checker: D.B. FINCH

5
 Scale: 1/8" = 1'-0"



① Front Elevation
1/8" = 1'-0"



② Rear Elevation
1/8" = 1'-0"



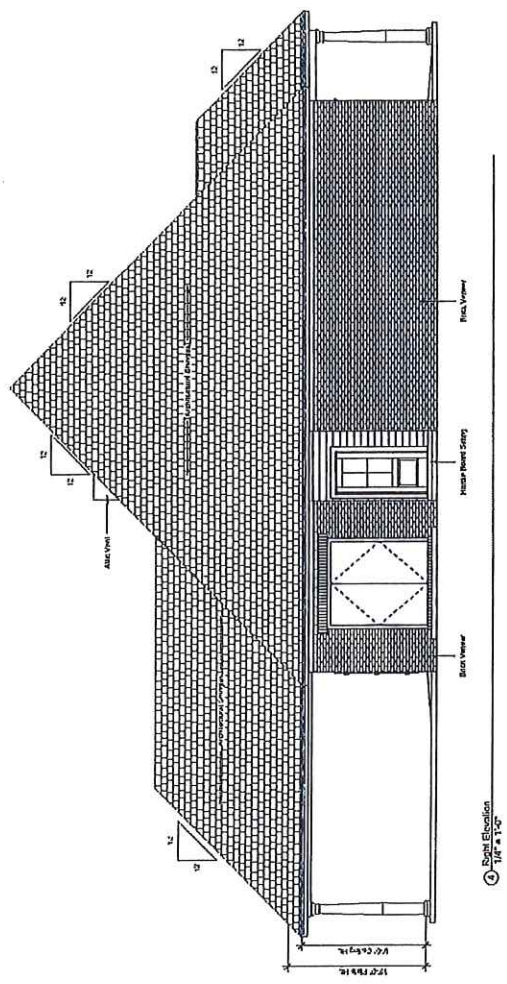
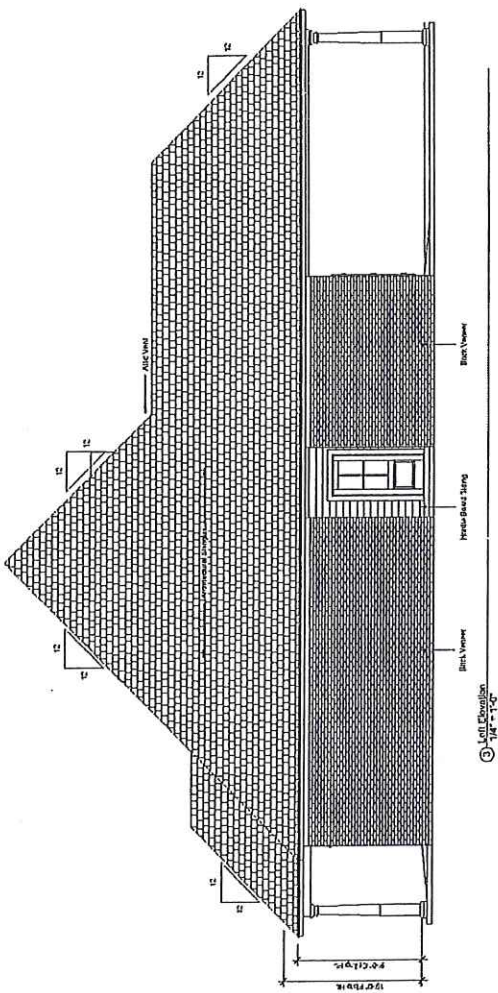
245 KATELON DRIVE, SUITE A, BLOOMINGDALE, IL 61710
 PHONE: (815) 898-9712
 FAX: (815) 898-9712
 WWW.DSSTUDIO.COM
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ARCHITECT NO. 02118

DESIGN STUDIO, INC.

The Kid's World Center II	
Exterior Elevations	
Project Number	22246
Date	10-11-16
Drawn by	C. McDiarmid
Checked by: [Signature]	
6	
Scale	1/2" = 1'-0"



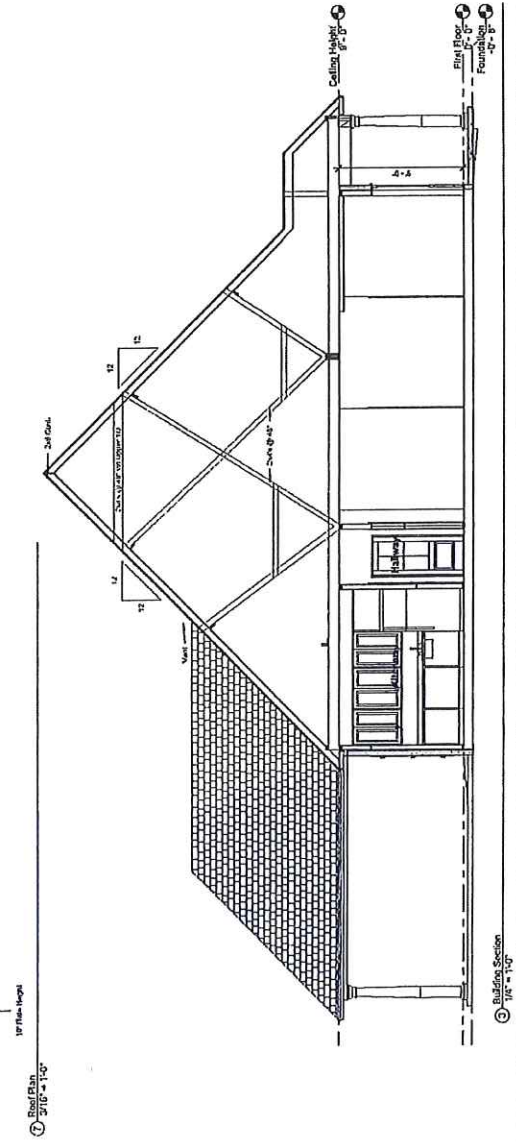
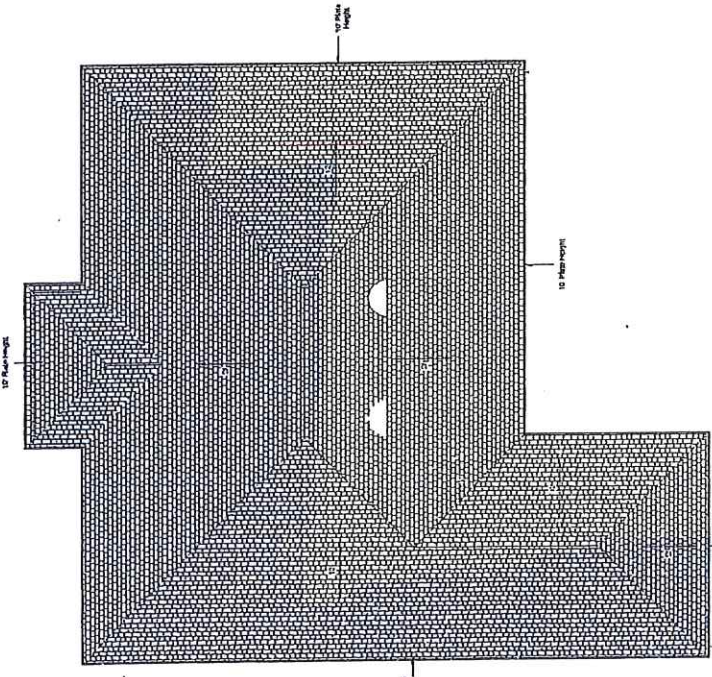
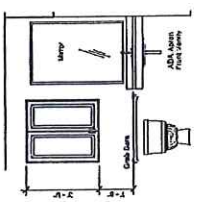
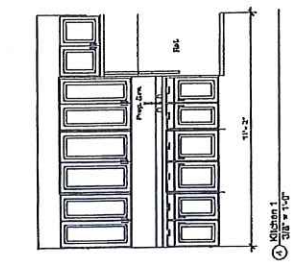
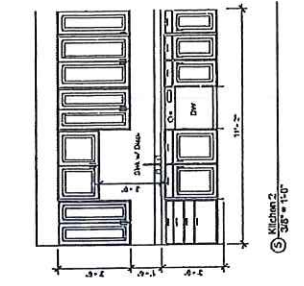
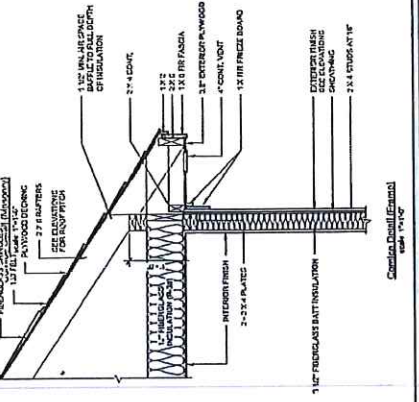
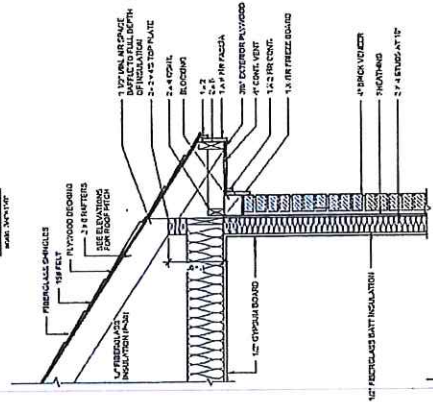
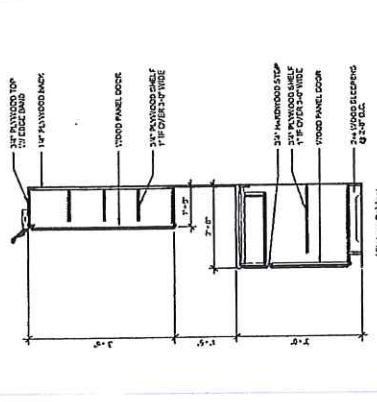


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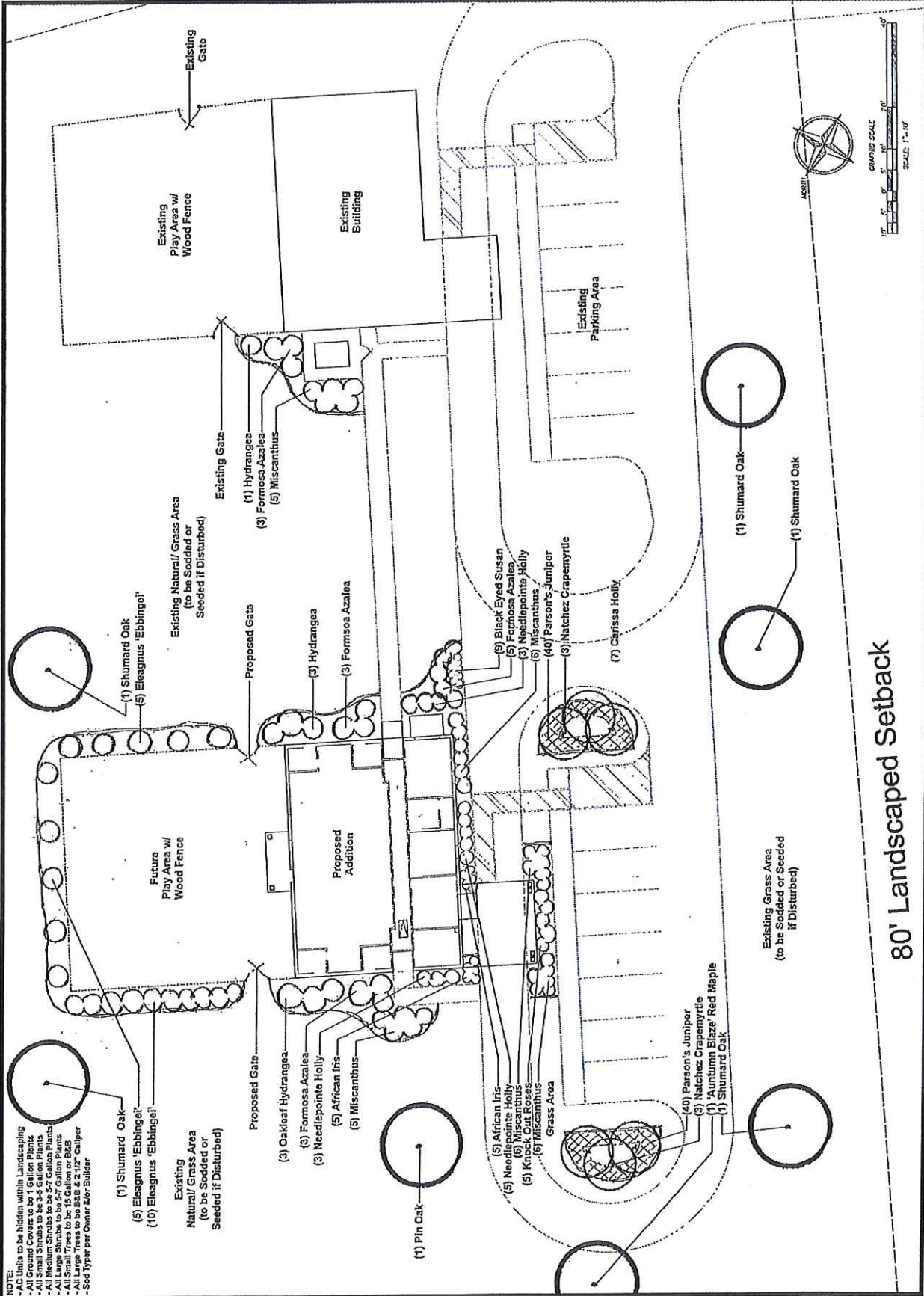
THE KID'S WORLD CENTER II
 10000 WOODBURN RD
 GREENBELT, MD 20818

DESIGN STUDIO, INC.

The Kid's World Center II	
Project Name	22256
Location	10000 WOODBURN RD
Architect	DESIGN STUDIO, INC.
Contractor	C. McDOUGAL
Sheet Title	CEILING FINISHES
Scale	1/8" = 1'-0"



NOTE:
 -AC Units to be hidden within Landscaping
 -All Ground Covers to be 1 Gallon Plants
 -All Small Shrubs to be 3-5 Gallon Plants
 -All Medium Shrubs to be 5-7 Gallon Plants
 -All Large Shrubs to be 5-7 Gallon Plants
 -All Small Trees to be 15 Gallon or B&E
 -All Large Trees to be B&B & 2.1/2" Caliper
 -Sod Type per Owner &/or Builder



- (1) Shumard Oak
 - (5) Eleagnus 'Ebbingei'
 - (10) Eleagnus 'Ebbingei'
- Existing
 Natural/ Grass Area
 (to be Sodded or
 Seeded if Disturbed)

- (3) Oakleaf Hydrangea
- (3) Formosa Azalea
- (3) Neelepointe Holly
- (5) African Iris
- (5) Miscanthus

- (1) Shumard Oak
 - (5) Eleagnus 'Ebbingei'
- Existing Natural/ Grass Area
 (to be Sodded or
 Seeded if Disturbed)

- (1) Hydrangea
- (3) Formosa Azalea
- (5) Miscanthus

- (5) African Iris
- (5) Neelepointe Holly
- (5) Miscanthus
- (5) Kn...
- (5) Miscanthus

- (5) Black Eyed Susan
- (5) Formosa Azalea
- (3) Neelepointe Holly
- (5) Miscanthus
- (40) Parson's Juniper
- (3) Natchez Crapemyrtle
- (7) Carissa Holly

- (40) Parson's Juniper
- (3) Natchez Crapemyrtle
- (1) Autumn Blaze Red Maple
- (1) Shumard Oak

Existing Grass Area
 (to be Sodded or
 Seeded
 if Disturbed)

- (1) Shumard Oak

- (1) Shumard Oak

80' Landscaped Setback



Mike Rosenthal
 Landscape Design
 & Consulting
 601.968.8308
 mikrosenthl330@gmail.com



Project: Kids World Addition
 Mansdale Road Madison, Mississippi
 Drawn by: [Name]
 Checked by: [Name]

Sheet No. L2.1
 2 of 3